

\$2,580,000

\$1.95 to \$4.50 to lease (depending on term and TI)

Cortland Industrial Center Available For Sale or For Lease



30 Kellogg Road, Cortland NY

Overview

The Cortland Industrial Center (formerly known as the Buckbee Mears Manufacturing Facility) will provide unique opportunities for a variety of industrial users.

This property is available

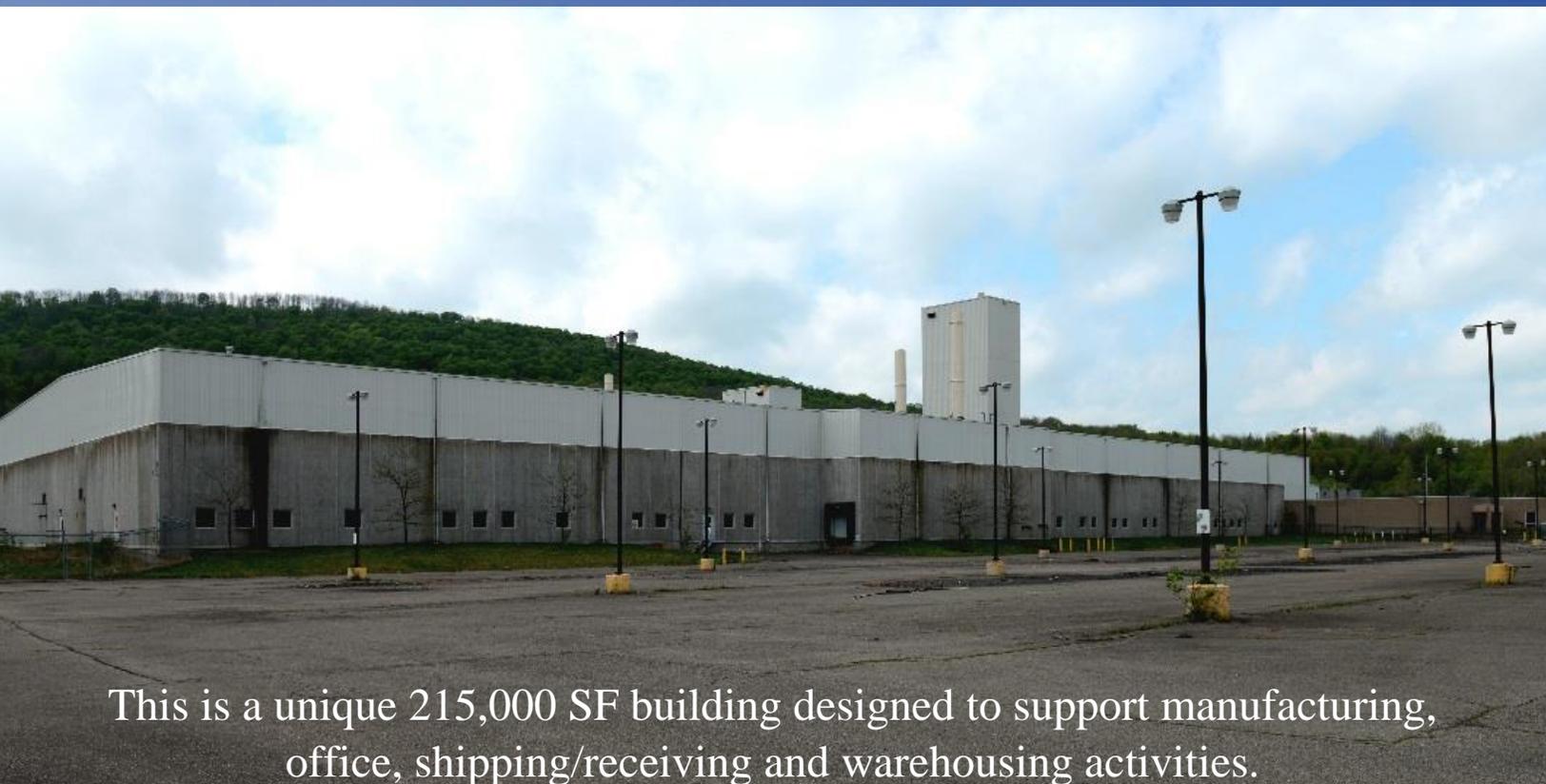
- * For lease of all 215,000SF *
- * Lease portion (in units of 40,000SF or more) *
- * Sale of the entire facility and/or adjacent acreage *

This property is just off NYS Routes 11 and 41, approximately 2 miles from Exit 10 off Interstate 81. Total Acreage is 32+/- Acres (to be surveyed), constructed from 1995 to 2002.

Specifications

Rail:	New York Susquehanna & Western Rail. A four-track spur runs 450 feet from the main track. This spur can support the main manufacturing/warehouse building or outside storage facility.
Outside Storage:	Approximately 135,000 s/f of concrete slab situated adjacent to the rail spur. This slab can be used as a hard surface for storage of material.
Power:	National Grid
Gas:	NYSEG. Servicing the main building is a 10” steel line with 124 PSID
Sewer & Water:	Municipal
Environmental:	An Environmental Phase I Site Assessment will be available to interested parties. This is not a brownfield site.
Availability:	Straight purchase or lease arrangement with retrofit capability to meet the needs of the tenants. The building can be subdivided, or the entire facility can be made available to one Tenant.
Demolition:	The interior of the main plant and office building have been demolished in preparation for occupants. The remaining walls are depicted in the floor shown on the 4th page of brochure. All the interior walls can be removed if necessary.

Overview



This is a unique 215,000 SF building designed to support manufacturing, office, shipping/receiving and warehousing activities.

The northerly portion contains a mezzanine that runs the length of the building (569 ft.). The mezzanine can be fitted for use as a crane way or used as its original purpose: to service the manufacturing activities below with needed infrastructure such as electricity, compressed air, water, etc. This portion has the highest ceilings.

Northerly Portion

Dimensions: 560' by 190'

SF: 106,400 SF

Ceiling Height: 30' to 43'

Construction: Steel on slab with pitched roof, tilt-up concrete slab and metal exterior

Columns: 25' & 28' by 39' & 43'.

Mezzanine:

Dimensions: 35' X 560', with two 30' expansion areas on both sides of the center of the mezzanine (see diagram)

SF: 25,825 SF

Construction: Steel on slab, with concrete floors

Height: Mezzanine is 18' above first floor slab with approximately 18' to 22' above the mezzanine slab

Loading: There are two existing docks servicing this section. However, the slab elevation to the parking lot will allow docks to be located at any location and at any place on all four sides.

The southern portion has large open bays, high ceilings, good access, exterior staging areas, and rail siding. The office component is attached to the building; it has a modern architectural exterior design, plenty of windows and is well landscaped. The office will create a quality corporate image.

Southerly Portion

Dimensions: 115 ft. by 556 ft., 60 ft. X 317 ft. bump out

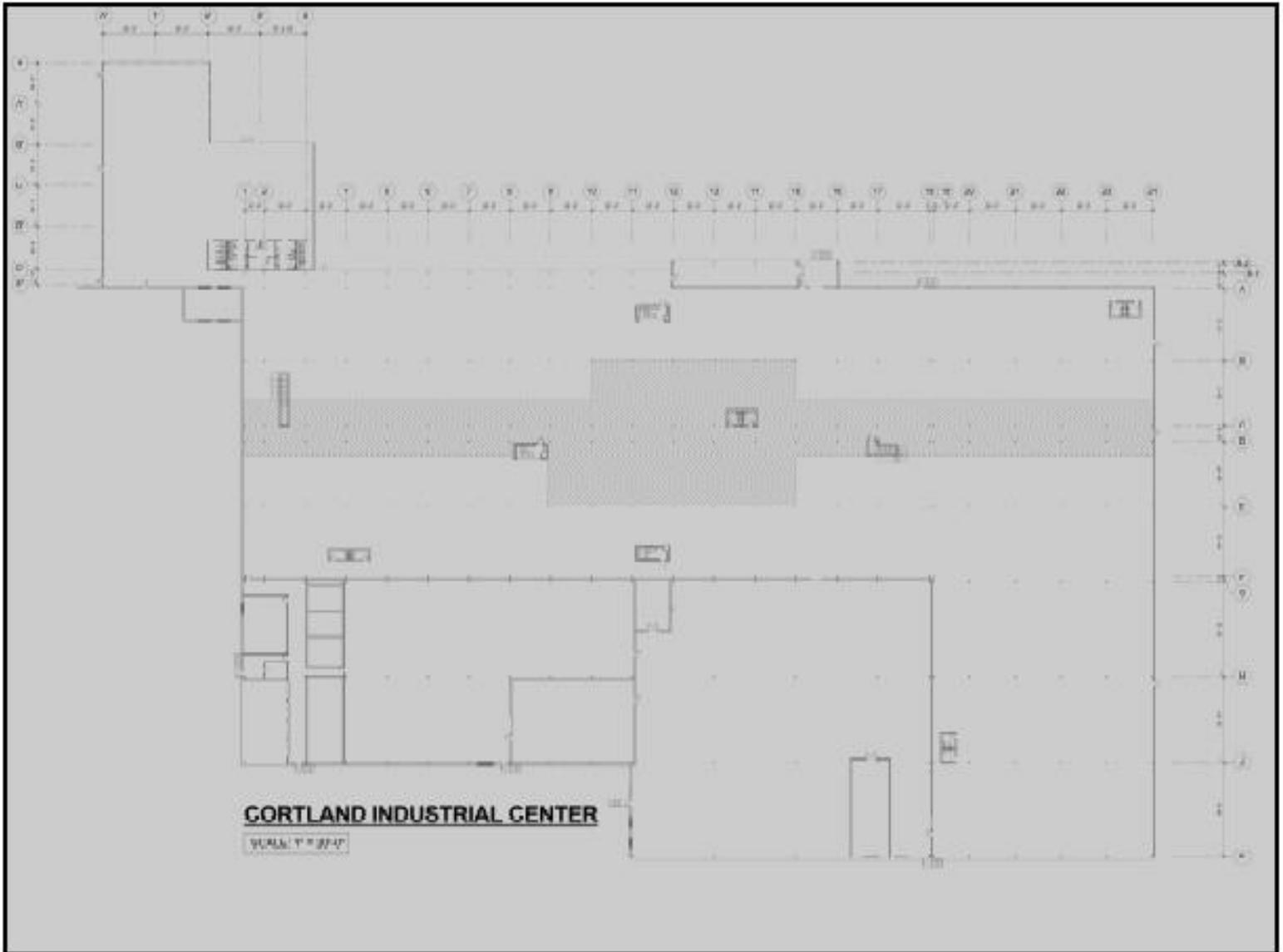
S/F: 83,960 s/f

Columns: 58' & 52' by 25' & 28'

Ceiling Height: 38 ft. to 43 ft. under roof deck

Loading: There are presently 5 loading docks located to the rear and side of this portion of the building. Due to the elevation of the slab to the finished ground, any number of docks can be building for access. The exterior of the main building will have a complete facelift. The concrete walls will be painted, landscaping refurbished, and the parking lot will be capped with greenway components installed.

As depicted here, most of the interior walls have been demolished. This building can be subdivided to accommodate a variety of uses and size requirements.



Attached Office Building

SF: 14,500 SF

Ceiling Height: 9' 6"

Construction: Steel frame with split face block exterior

Access: Formal entrance from large parking lot

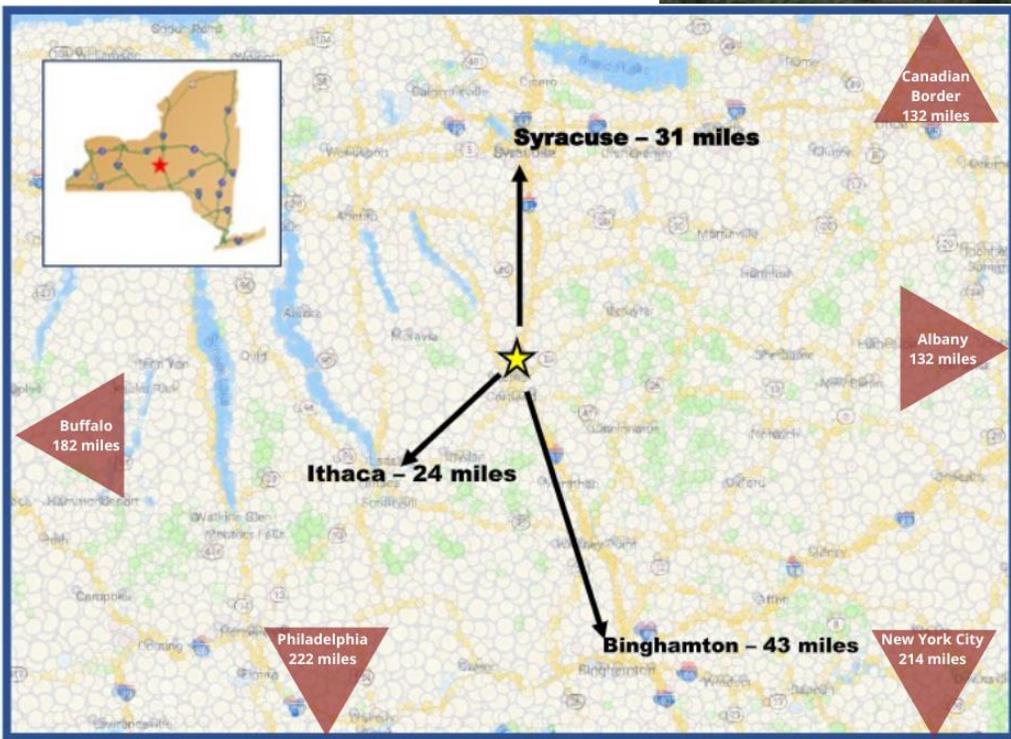
Roof: New Duralast roof installed in 2014

Exterior: Split face block

Parking: Ample

Build-out: Landlord will provide office designers and architects to develop a floor plan to suit the office needs of the Tenant

The parcel is approximately 32 acres with 1,150' of road frontage on Kellogg Road.



The Cortland Industrial Center is located in close proximity to Interstate I-81. The City of Cortland is situated in the center of New York State, equidistant from the Canadian border and Pennsylvania.

This information is believed to be accurate and is derived from sources believed to be trustworthy. While it is believed to be correct, the accuracy of the above information has not been confirmed. Yaman Commercial Industrial, its agents and principal do not warrant, guarantee or make any representations with respect to said accuracy. You are responsible for independently confirming the accuracy and completeness of the information.



185 CLINTON AVE, CORTLAND, NY 13045
607-218-6221 | YAMANCI.COM



Contact

ASSOCIATE BROKER
Cell: 607-423-7800
Office: 607-218-6221
Email: steve@yaman.com