



185 CLINTON AVE, CORTLAND, NY 13045

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607-423-7800 | STEVE CINQUANTI

## Warehouse For Sale or For Lease

**30 Kellogg Road,  
Cortland NY**

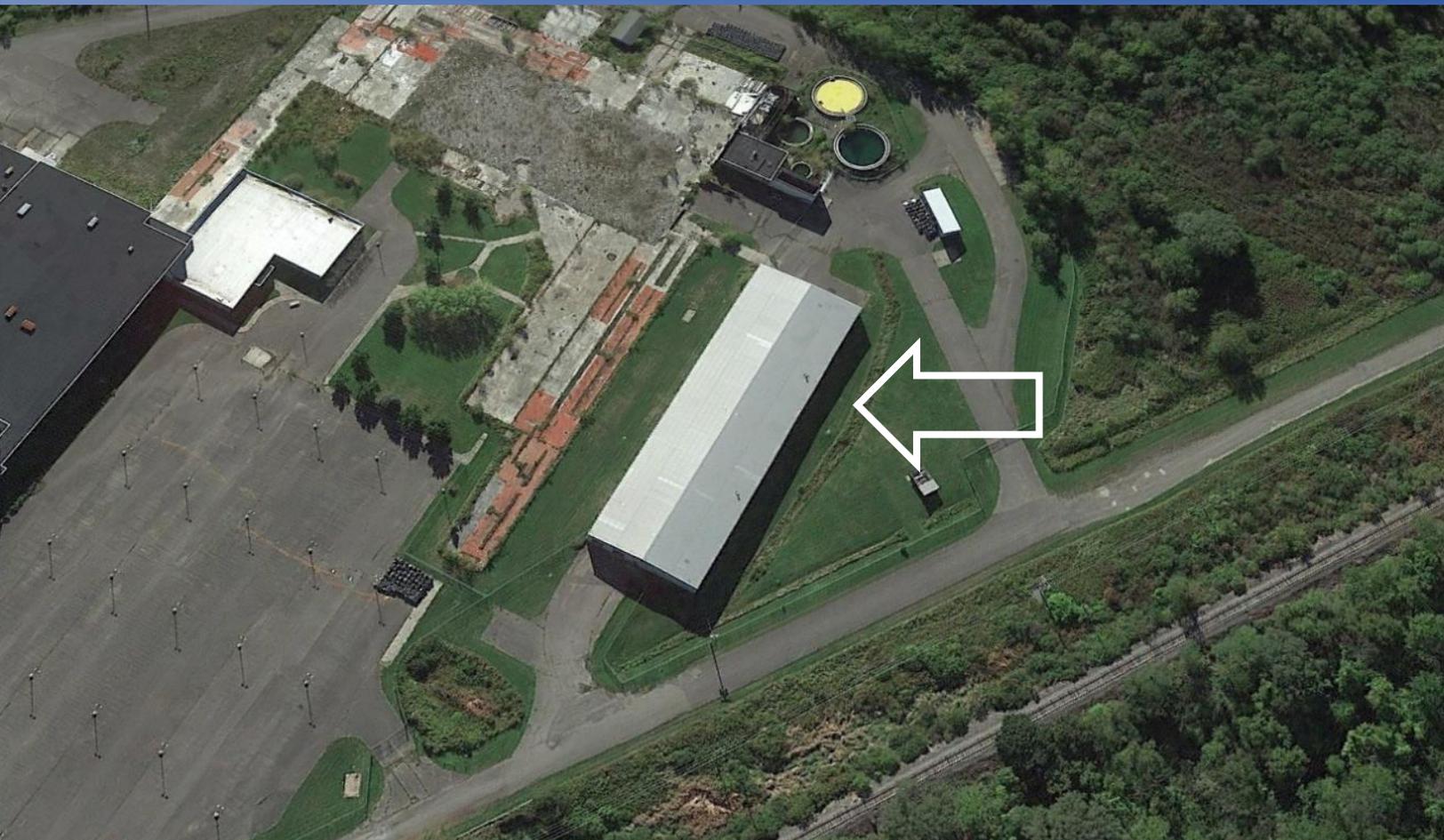


## Overview

The 30,000 SF stand-alone warehouse facility is available for sale or a 5-year Lease arrangement. The balance of the complex is a 205,000 SF manufacturing facility and is available on a lease arrangement with retrofit capability to meet the needs of the tenants. The main 205,000 building can be subdivided, or the entire complex can be made available to one Tenant. In addition, the entire complex can be purchased.

This property is just off NYS Routes 11 and 41,  
approximately 3 miles from Exit 11 off Interstate 81.

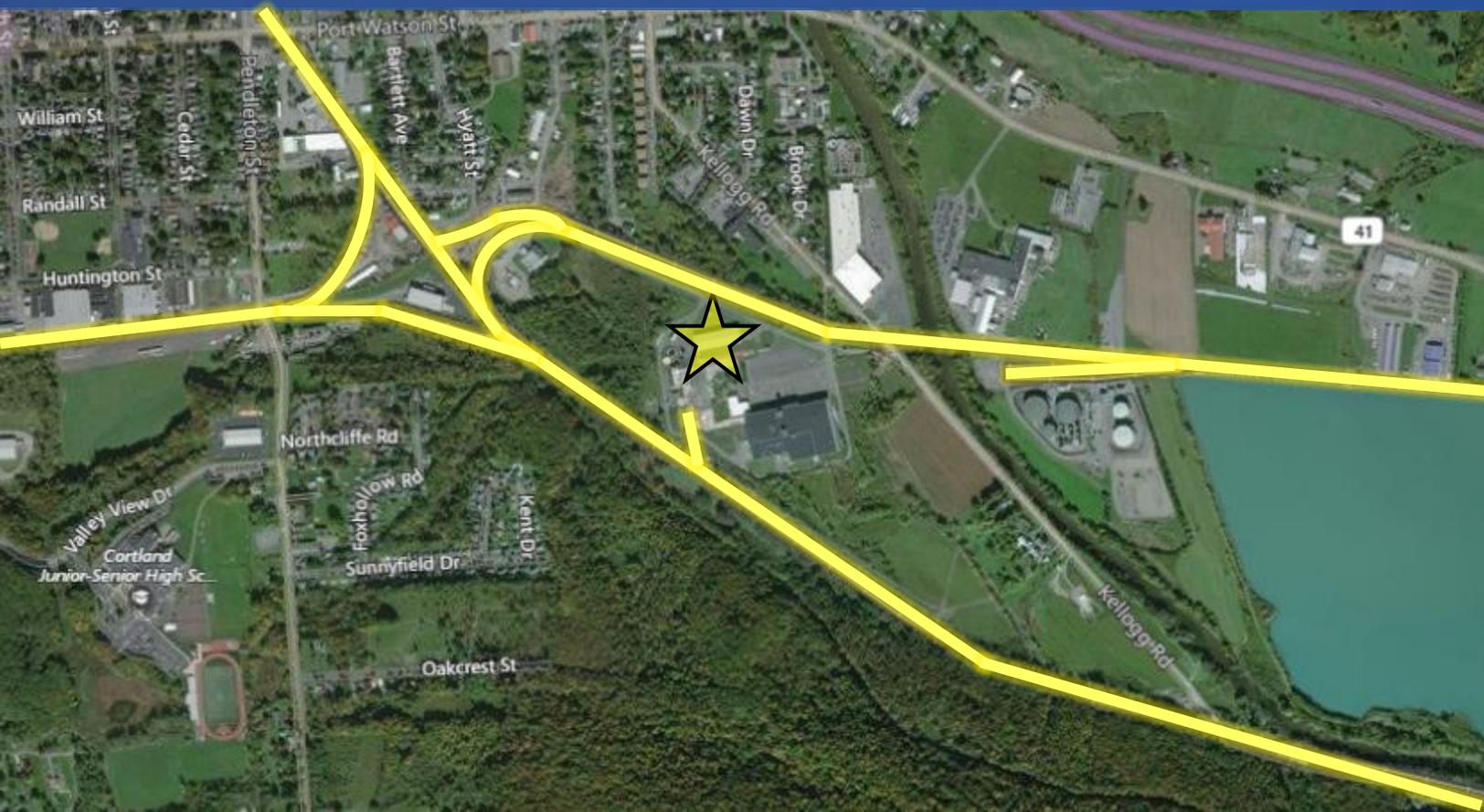
- Rail:** New York Susquehanna & Western Rail. A four-track spur runs 450 feet from the main track. This spur can support the main manufacturing/warehouse building or outside storage facility.
- Outside Storage:** Approximately 135,000 s/f of concrete slab situated adjacent to the rail spur. This slab can be used as a hard surface for storage of material or parking.
- Power:** National Grid. There is an exterior transformer on site with access to 115 kV lines.
- Gas:** NYSEG. Servicing the main building is a 10" steel line with 124 PSID
- Sewer & Water:** Municipal
- Environmental:** An Environmental Phase I Site Assessment will be available to interested parties. This is not a brownfield site.



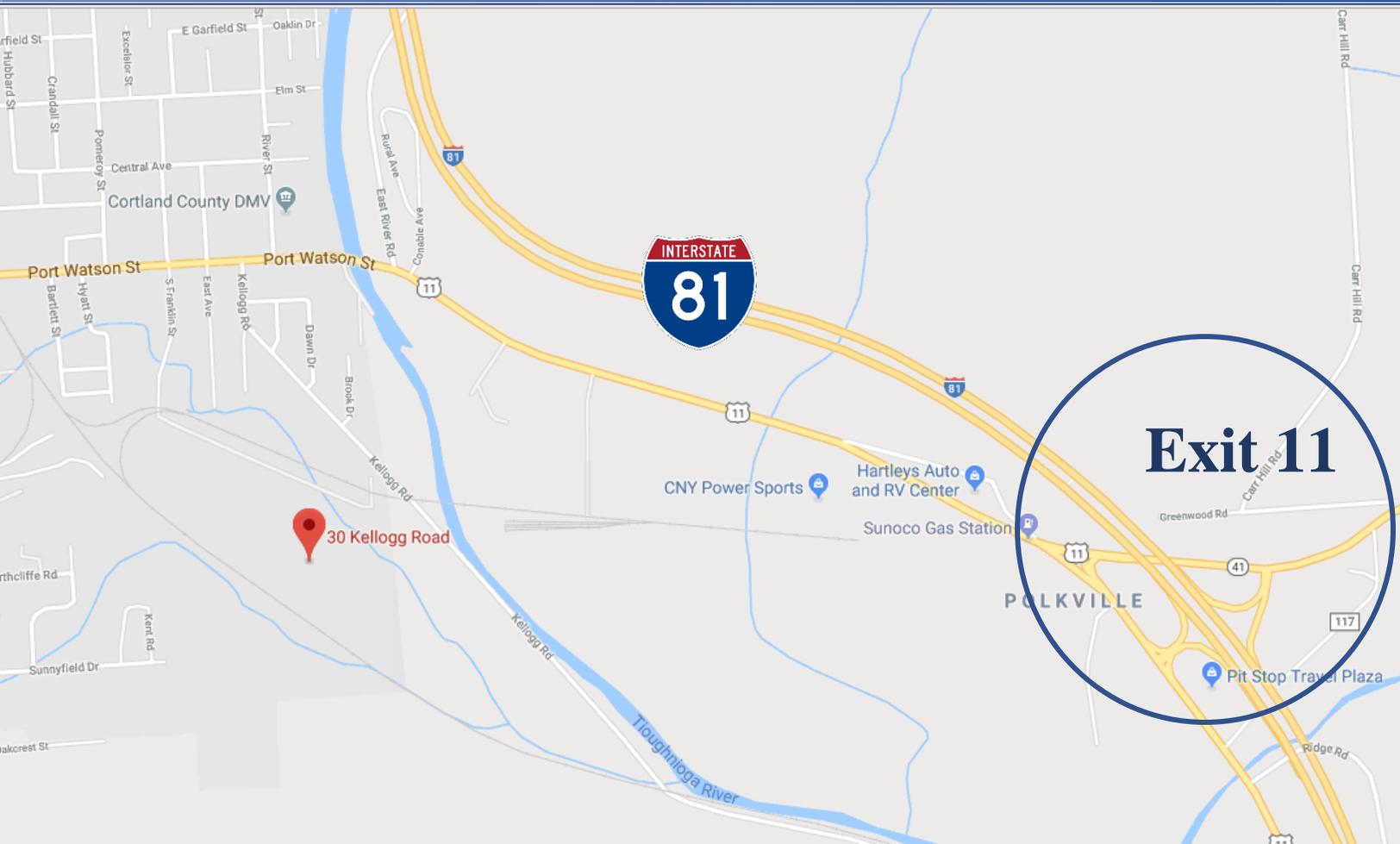
# Specifications

<b>Size:</b>	30,000 SF
<b>Bldg. Dimensions:</b>	100' by 300'
<b>Construction:</b>	Steel on slab with metal-pitched roof, one interior set of center columns
<b>Floors:</b>	Concrete slab – 6" over 12" run a crush compacted
<b>Roof Assembly:</b>	Standing seam metal roof over 6" white polyester faced batt insulation
<b>Ceiling Height:</b>	25' center eave height and 23' to truss; 20' at sides of building, 17' to the truss
<b>Lighting:</b>	Ceiling hung halogen lights
<b>Sprinklers:</b>	Throughout –dry system
<b>Bathrooms:</b>	Men and women
<b>Heating:</b>	Gas fired forced hot air heat
<b>Electrical:</b>	To owner specs
<b>Loading:</b>	West end – 1 drive-in with 12' by 12' OH door, 1 dock with leveler and 8' X 12' door East end – 2 docks with levelers with 8' X 12' doors
<b>Rail Siding:</b>	There is an existing rail siding with four spurs a short distance from the building that can be extended to the building.

# NY State Rail System

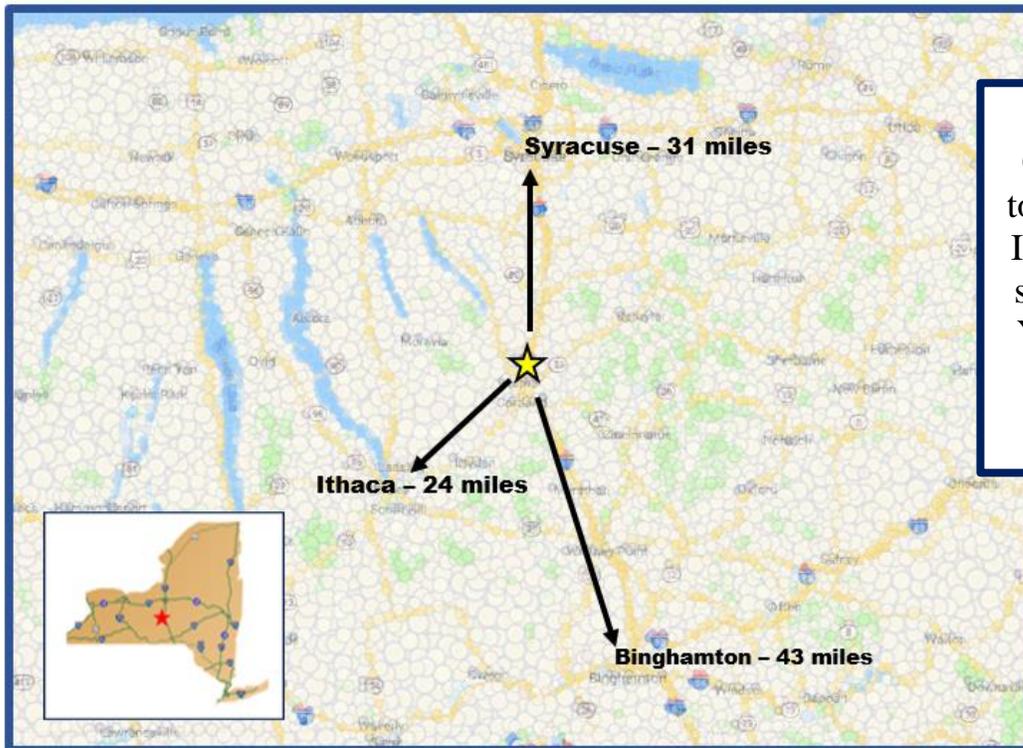


## Access to NY Interstate 81





**Warehouse Interior**



The Cortland Industrial Center is in close proximity to the Interstate I-81 traffic of I-81. The City of Cortland is situated in the center of New York State, equidistant from the Canadian border and Pennsylvania.



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